

ARCHITECT'S ADDENDUM

Addendum Number: 002

Date: November 30, 2017

RE: Judicial Center Campus Parking
Lot Improvements

Prepared By: Brian Kronewitter
Cordogan, Clark & Associates

CCA Project No.: 17358

To: Prospective Bidders

Subject: Addendum No. 02 to the Construction Documents and Project Manual for the Judicial Center Campus Parking Lot Improvements project.

This Addendum forms a part of the Construction Documents and modifies the original Construction Documents, dated November 15, 2017. Acknowledge receipt of this Addendum in space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

THE FOLLOWING ITEMS ARE TO BE INCLUDED IN THE PROPOSAL.

General information:

1. A pre-bid meeting took place on November 21, 2017 at 2:30 p.m. onsite. The sign-in sheet has been provided with this addendum.

Clarifications To The Specifications:

1. Bid Form (Page 2)- Revision made to Alternate- 1 to include driveways 6 and 7.
2. Bid Form (Page 3)- Revision made to Alternate- 2 – Phase 2 – item C to read as "Stabilization Option B"

Clarifications To The Drawings:

Revised sheets T1.0, A2.2, A2.4 and A2.5.

Reponses to Bidders Questions:

1. *On the plan notes there is reference made to a leveling course but the details indicate just a 2.5" surface course. Is it the intent to place an asphalt leveling course and separate surface course totaling 2.5" or just one lift of 2.5"*
Response: The intent is to remove existing surface coat totaling to 2.5" and apply new surface coat totaling to 2.5" after compaction.
2. *The plans indicate an area of approximately 400 SF of greater damage on sheet A2.3 that is to be repaired with an additional 2" asphalt but no other areas are indicated. Are*

we to include that area in the base bid and then any other areas that would need additional patching would be paid under the allowance item?

Response: The assumption is correct.

3. For alternate 2 it indicates to take an additional 4" subgrade soils after taking out the pavement. I want to know if that means that we should take the existing pavement down to the proposed subgrade of the two pavement specifications or if we need to figure an additional 4" of material

Response: The scope of work is to remove the existing pavement to the subgrade (depth of existing pavement to be determined from the test reports attached in the project manual). Then remove additional 4" subgrade soils under parking areas to meet proposed pavement designs.

4. For the temporary drive it states that it should be removed at the end of the project. I am assuming that they would want the area restored after removal. If we are to restore it can you provide what method they would want (topsoil seed blanket or sod)

Response: After removal of the temporary drive the area should be restored back to match the existing landscape condition. Refer to revised note on A2.5 issued as Addendum 2 dated 11.30.2017

5. Clarify that the stabilization options are for the entire areas and not portions of the different phases in alternate 2

Response: Yes, stabilization options are for the entire area under Alternate 2 inclusive of Phase I and Phase II.

6. There are sectional curb repairs (approximately 100 linear feet) called out on plan sheet A2.2 – Base Bid Phase II. The same sectional curb repairs are also called out on plan sheet A2.4 – Alternate 1. Please clarify if the 100' of sectional curb repairs is to be included in the Base Bid or Alternate 1.

Response: The sectional curb repairs are part of Base Bid- Phase III. See revised sheets A2.2 and A2.4 issued as Addendum 2 dated 11.30.2017.

7. Note 1 on plan sheet A2.5 for Alternate 2 states "Full depth removal (see test results attached in project manual for existing pavement depth) and replacement of the existing pavement." On page 6 of the "Terracon Pavement Evaluation" provided in the project manual, the following asphalt pavement sections are recommended for pavement reconstruction at the Juvenile Center: 8" Crushed Stone Aggregate, 2-1/4" Binder Course, and 1-1/2" for parking areas (standard duty) and 10" Crushed Stone Aggregate, 4" Binder Course, and 2" surface course for driveways (heavy duty). Please clarify the "base" price option for Alternate #2 is to remove the existing HMA pavement, excavate as necessary to achieve sub-grade elevation, and installation of the proposed standard duty and heavy duty pavement sections noted on Page 6 of the Terracon Pavement Evaluation.

Response: Remove additional 4" after the existing pavement depth and over-excavate where the areas are unstable.

8. Plan sheet A2.5 does not delineate limits for proposed standard duty and heavy duty pavement sections for Alternate 2. Are all driveways / drive aisles to be heavy duty pavement and all parking bays / parking areas to be standard duty pavement? Please clarify.

Response: Refer to revised sheet A2.5 issued as Addendum 2 dated 11.30.2017.

9. Note 3, item a on plan sheet A2.5 for Alternate 2 states "Lime stabilization: Perform Lime stabilization of subgrade soils to depth of at least 12 inches." Please confirm the 12" lime stabilization is to be completed for the entire subgrade area of the proposed standard duty and heavy duty pavement sections at the Juvenile Center parking lot.

Response: Correct, if Sabilization Option A is pursued, the 12" lime stabilization is to be completed for the entire subgrade area of the proposed standard duty and heavy duty pavement sections at the Juvenile Center parking lot.

10. Note 3, item b on plan sheet A2.5 states "Perform 12" undercut as necessary at unstable subgrade locations". There is no way to determine the limits of unstable subgrade without conducting a proof roll on the sub-grade. So, is the intent of Alternate 2 item b to perform 12" undercuts for the entire subgrade area for both standard duty and heavy duty pavement sections at the Juvenile Center parking lot? Please clarify.

Response: Correct, if Sabilization Option B is pursued, 12" undercuts has to be performed for the entire subgrade area for both standard and heavy duty pavement sections.

11. I have a question in regards to Sheet A2.5. The notes state to remove the existing pavement and 4" of subgrade soils to meet the proposed pavement designs. After reading the soils report, I assume we are to remove existing asphalt, existing aggregate base (credit for stockpiling and reuse) and existing subgrade to make room for a standard and heavy duty pavement section which are 11.75" and 16" respectively. Am I correct in this assumption?

Response: The assumption is correct.

12. Secondly, am I to assume the parking stalls are standard duty and the drive aisles are heavy duty?

Response: Parking stalls are standard duty and drive aisles are heavy duty. Refer to revised sheet A2.5 issued as Addendum 2 dated 11.30.2017.

13. Should we include landscape restoration in the area of the temporary roadway?

Response: After removal of the temporary drive, the area should be restored back to match the existing landscape condition.

14. Alternate 2- Phase 1 and 2 - What is the thickness of stone we should use going back in these areas?

Response: As mentioned in Note #1 Backfill with IDOT CA-6 or IDOT CA-1

15. Alternate 2- Phase 1 and 2 - Sheet A2.5 Note 3b. I assume this price should be a unit price because we will not know what area needs undercut until that time comes. Please confirm.

Response: It is listed as unit price under "G - Unit Prices" in Bid form page 5 (004000-5) as item #8.

16. Sheet A2.5 Note 4a and 4b. What area is to receive standard duty asphalt and what area is to receive heavy duty asphalt?

Response: Parking stalls are standard duty and drive aisles are heavy duty. Refer to

revised sheet A2.5 issued as Addendum 2 dated 11.30.2017.

17. *Small change.... Bid form page 004000-3 Phase 2, Item C. Should read, "STABILIZATION OPTION B..."*
3. Response: See revised Bid Form (Page 3)- Revision made to Alternate- 2 – Phase 2 – item C to read as "Stabilization Option B"

End Of Addendum No. 02

**KANE COUNTY
OFFER TO CONTRACT BID FORM**

**Kane County Judicial Center Campus – Parking Lot Improvements
St. Charles, Illinois.**

Bid Due Time & Date: 1:30 p.m., December 5, 2017

To: County of Kane (Purchasing Department)
Kane County Government Center, Bldg. A, 2nd Floor, Room 210, 212, or 214
719 S. Batavia Ave.
Geneva, IL 60134

Bidders shall provide ONE original Bid Form and TWO copies with their Bid.

The following offer is hereby made to the County of Kane, Illinois, hereafter called the Owner.

A. GENERAL

FORM OF PROPOSAL FOR BID PACKAGE NUMBER: _____

BID PACKAGE NAME: _____

SUBMITTED BY: _____ DATE: _____

TO: Kane County

The undersigned having carefully examined the Contract Documents consisting of the following: Specifications (Inclusive of all Sections and Exhibits); Drawings; and Addenda, if any. All as prepared by Cordogan Clark & Associates, which Contract Documents form a component part of this Proposal, and having examined the premises and conditions affecting the work, proposes to furnish all labor and materials required for the Contractor as follows:

B. BASE BID

BASE PROPOSAL: In accordance with Drawings and Specifications for general contract including all divisions of work as indicated in Work Included in the Specifications for as shown in the drawings.

BASE BID AMOUNT: \$ _____

AS WRITTEN: _____

ALLOWANCE AMOUNT: \$ 25,000 _____

AS WRITTEN: Twenty-Five Thousand Dollars _____

TOTAL BASE BID AMOUNT (INCLUDING ALLOWANCE): \$ _____

AS WRITTEN: _____

The undersigned understands that this proposal is for the work fully described in the specifications and individual Bid Package scope of work thereafter for which the proposal is intended.

C. ADDENDA

I acknowledge receipt of the following Addenda:

No. _____ Date _____ No. _____ Date _____

No. _____ Date _____ No. _____ Date _____

D. SCHEDULE OF ALTERNATES

The selected alternates will be used to determine the lowest qualified Bid for this Bid Package. The undersigned Bidder proposes the amount below be added to or deducted from the Base Bid if particular alternates are accepted by Owner. Amounts listed for each alternate include costs of related coordination, modification, or adjustment and all alternates shall be inclusive of contractor overhead and profit regardless of whether additive or deductive. Owner reserves the right to accept or reject any alternate, in any order, and to award or amend the Contract accordingly within 90 days of the Notice of Award unless otherwise indicated in the Contract Documents.

Bidder is required to note if alternate is additive, deductive, or no change from base bid amount. If the alternate does not affect the Contract Sum, the Bidder shall indicate "NO CHANGE." If the alternate does not affect the Work of this Contract, the Bidder shall indicate "NOT APPLICABLE." The Bidder shall be responsible for determining from the Contract Documents the affects of each alternate on the Contract Time and the Contract Sum. Acceptance or non-acceptance of any alternates by the Owner shall have no affect on the Contract Time unless the "Schedule of Alternates" Article below provides a formatted space for the adjustment of the Contract Time.

REFER TO DRAWINGS FOR EACH PARKING LOT IMPROVEMENTS FOR SCOPE OF WORK FOR FOLLOWING ALTERNATES:

**ALTERNATE – 1 (REFER TO SHEET A2.4 IN BID SET)
(PARKING LOTS A, B, C, D AND DRIVEWAYS 1, 2, 3, 4, 5, 6, & 7)**

- A. REPAIR ENTIRE SCOPE OF WORK TO BE COMPLETED IN TWO PHASES. PHASES TO BE COORDINATED WITH COUNTY \$ _____
Add/Deduct/No Change
- B. REPAIR DURING NORMAL WORK HOURS \$ _____
Add/Deduct/No Change
- C. REPAIR DURING EVENING AND WEEKEND HOURS \$ _____
Add/Deduct/No Change

**ALTERNATE – 2 (REFER TO SHEET A2.5 IN BID SET)
(TEMPORARY DRIVE, PARKING LOTS J, H AND DRIVEWAYS 9, 10, 11, 12 AND 13)**

PHASE 1

- A. PHASE 1: FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT. INCLUSIVE OF SURFACE COATING (REFER TO ADDITIONAL SCOPE DESCRIPTION NOTES 1 \$ _____
Add/Deduct/No Change

AND 4 FOR PHASE I AND II ON SHEET A2.5 IN BID DOCUMENTS)

- B. PHASE 1: STABILIZATION OPTION A (REFER TO SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change
- C. PHASE 1: STABILIZATION OPTION B (REFER TO SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change

PHASE 2

- A. PHASE 2: FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT. INCLUSIVE OF SURFACE COATING (REFER TO ADDITIONAL SCOPE DESCRIPTION NOTES 1 AND 4 FOR PHASE I AND II ON SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change
- B. PHASE 2: STABILIZATION OPTION A (REFER TO SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change
- C. PHASE 2: STABILIZATION OPTION B (REFER TO SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change
- D. TEMPORARY DRIVEWAY CONSTRUCTION AND REMOVAL (REVIEW SCOPE OF WORK ON SHEET A2.5 IN BID DOCUMENTS) \$ _____
Add/Deduct/No Change
- E. TEMPORARY STRIPING ON TEMPORARY DRIVEWAY \$ _____
Add/Deduct/No Change

E. VOLUNTARY ALTERNATES

The Contractor is encouraged to provide Voluntary Alternates. If Contractor elects to do so, it must be a modification to the Base Bid and shall not be included in the Base Bid. The selected alternates will be used to determine the lowest qualified Bid for this Bid Package. Any alternates not specifically outlined on the Bid Proposal Form shall be submitted in the form outlined below. Failure to do so may result in the rejection of the bid. A separate sheet can be included with the bid form, if required.

- Voluntary Alternate #01 _____ \$ _____
Add/Deduct/No Change
- Voluntary Alternate #02 _____ \$ _____
Add/Deduct/No Change
- Voluntary Alternate #03 _____ \$ _____
Add/Deduct/No Change

F. SCHEDULE OF VALUES

The following Schedule of Values shall be furnished for verification of scope of work, establish unit prices, and determine base bid. All unit costs are to include equipment, material, and labor

costs, including overhead and profit. See Specification Section 012100 for description and assignment of allowances. Bidder must quote on all items called for in the Bid Proposal relative to their scope of work and / or bid package. Bidder is also required to email the Schedule of Values and Unit Pricing in Microsoft Excel (.XLS) electronic format one to 24 hours after bid due date but no earlier or later to Brian Kronewitter (bkronewitter@cordoganclark.com). Bidders may attach a printed copy of the Schedule of Values in lieu of handwriting each entry.

| <u>ITEM</u> | <u>DOLLAR AMOUNT</u> |
|---|----------------------|
| Labor | _____ |
| Material | _____ |
| Equipment | _____ |
| Performance Bond | _____ |
| General Conditions / OH & Profit | _____ |
| Total Base Bid Amount (Scope of work as per sheets A2.1, A2.2 and A2.3) | _____ |

G. UNIT PRICES

All unit cost below shall be filled out for the Prime Contractor responsible for the individual items in their scope of work and are to include equipment material and labor costs, including bonding, overhead and profit. Bidder must quote on all items called for in their bid package. This form is required to be attached to the Bid Form. The undersigned Bidder proposes the amounts below be added to or deducted from the Contract Sum on performance and measurement of the individual items of Work and for adjustment of the quantity given in the Unit-Price Allowance for the actual measurement of individual items of the Work. If the unit price does not affect the Work of this Contract, the Bidder shall indicate "NOT APPLICABLE."

Bidder is also required to email the Schedule of Values and Unit Pricing in Microsoft Excel (.XLS) electronic format one to 24 hours after bid due date but no earlier or later to bkronewitter@cordoganclark.com. Bidders may attach a printed copy of the Unit Prices in lieu of handwriting each entry.

a) Reference Section 012200 Unit Prices

| | | |
|---|-------------------------|-------|
| 1. MILL 2 ½" EXISTING SURFACE MATERIAL | \$/SQUARE FOOT | _____ |
| 2. REMOVE ADDITIONAL 2" SURFACE LAYER FOR REMEDIATION OF SIGNIFICANTLY DAMAGED AREA | \$/SQUARE FOOT | _____ |
| 3. 2 ½" NEW ASPHALTIC CONCRETE SURFACE COURSE | \$/SQUARE FOOT | _____ |
| 4. SECTIONAL CURB REPAIRS (CURB TYPE B) | LINEAR FEET / UNIT COST | _____ |

| | | |
|---|----------------|-------|
| 5. FILL CRACK 1/8" AND ABOVE | \$/LINEAR FOOT | _____ |
| 6. SEAL COAT | \$/SQUARE FOOT | _____ |
| 7. FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT (SEE TEST RESULTS AND SHEET A2.5) | \$/SQUARE FOOT | _____ |
| 8. UNDERCUT AND BACKFILL REMEDIATION OF UNSTABLE SUBGRADE (SEE SHEET A2.5) | \$/CUBIC FOOT | _____ |
| 9. LIME STABILIZATION | \$/CUBIC YARD | _____ |
| 10. SURFACE COATING (STANDARD DUTY) | \$/SQUARE FOOT | _____ |
| 11. SURFACE COATING (HEAVY DUTY) | \$/SQUARE FOOT | _____ |
| 12. STRIPPING | \$/LINEAR FOOT | _____ |
| 13. SALVAGE AS MUCH CLEANED, CRUSHED STONE AS POSSIBLE IN PARKING LOTS J, H AND DRIVEWAYS 9, 10, 11, 12, 13. REUSE FOR NEW WORK AND PROVIDE CREDIT TO CLIENT. | \$/CUBIC YARD | _____ |

H. PERSONNEL / SCHEDULE

Average Size of Crew Anticipated _____

Staff _____

Identify Lead Time of Major Equipment after Shop Drawing Approval _____ Weeks

List Major Equipment _____

If the Bidder is not in agreement with the Project Schedule in the specifications, attach a schedule indicating the subcontractors proposed timeline for discussion purposes. The schedule compliance shall be factored into the qualification for award of the contract.

I. BID SECURITY

Accompanying the proposal is a Bid Bond or (Certified Check) as surety in the amount of not less than 5% of the Base Bid payable to the Owner, which it is agreed will be forfeited if the undersigned fails to execute the Contract in conformity with Specifications and Furnish Performance and Labor and Material

Payment Bonds as specified within ten (10) days after notification of the award of the Contract to the undersigned

J. PERFORMANCE / PAYMENT BOND

The undersigned agrees to provide an acceptable Performance and Labor and Material Payment Bonds, in accordance with AIA Document A311, in the amount of 100% of the Base Bid of which the cost of the Bonds are included in the Bid.

K. ATTACHMENT

The undersigned acknowledges that he has read and understands the CERTIFICATE OF ELIGIBILITY TO BID attached to this Bid Form and signed and attested thereto. The undersigned further acknowledges that said CERTIFICATE OF ELIGIBILITY is a part of the Contract Documents and will be attached to the Agreement.

L. REJECTION AND WITHDRAWAL OF BID

The Owner reserves the right to accept or reject any or all of the above proposals.

M. TIME OF COMPLETION

The undersigned agrees, if awarded the Contract, to begin work immediately upon notification by the Architect. The undersigned agrees, if awarded the Contract, to complete the work within the time frame specified in Specification Section 003000.

THIS SECTION MUST BE SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE COMPANY OR ENTITY RESPONDING TO THE BID AND THE RESPONSE.

Signature _____ Typed Signature _____

Company _____

Address _____

City/State/Zip _____

Phone # _____ Fax # _____

Federal I.D./Social Security # _____ Date _____

ACCEPTANCE

The Offer is hereby accepted for the **Kane County Judicial Center Campus – Parking Lot Improvements Project**.

The Contractor is bound to sell the materials and services listed in the attached contract documents and based upon the Invitation to Bid, including all terms, conditions, specifications, amendments, and the Contractor's offer is accepted by the County of Kane.

This contract shall henceforth be referred to as Contract Number 03-018. The Contractor has been cautioned not to commence any billable work or to provide any materials or services until this Contractor receives a purchase order and or notice to proceed.

Christopher J. Lauzen
Chairman, County Board
Kane County, Illinois

Date

CERTIFICATE OF ELIGIBILITY TO BID

The Bidder/Contractor certifies that the Contractor is not barred from bidding on the contract as a result of a conviction for either bid-rigging or bid rotating under Article 33E of the Criminal Code of 1961. The Bidder/Contractor acknowledges that this certificate is a part of the Contract Documents and will be attached to the Owner/Contractor Agreement.

Date: _____ Firm Name: _____

Official Address: _____

_____ By: _____

_____ Position: _____

Where Bidder is a Corporation, add:

Attest: _____
(Secretary) (Seal)

Subscribed and Sworn to Before Me this _____ day of _____, 2017

My Commission Expires: _____
Notary Public

_____, 20__ _____
Address

RELEVANT EXPERIENCE VERIFICATION FORM

Attach additional sheets as required to complete this form in its entirety. Additionally, Bidder is also required to furnish with their bid the Prequalification Form AIA A-305.

List of all similar projects (and contract value) contracted with the Bidder that have been completed within the last 5 years.

List of all similar projects completed for government institutions over the last 5 years that were contracted with the Bidder.

List of five government institution references where similar work was contracted with and installed by the Bidder. Include organization name, contact name, phone, email, and any pertinent project details if not included w/ the above project experience lists.

What work (be specific – field installation labor, administrative, etc. and % of total contract) is self performed and what is subcontracted under their contract as defined by the scope of work?

List staffing (quantities, title, roles) assigned to complete this project in the timeline outlined in Section 003000.

List of Key Personnel to be involved in this project (include title/responsibilities)

List of Current Workload and Status (projected through 2017)

Signature: _____

Printed Name & Position: _____

Date: _____ Firm Name: _____

Official Address: _____

Phone _____ Email _____

KANE COUNTY JUDICIAL CENTER CAMPUS

37W755 IL-38B

PARKING LOT IMPROVEMENTS

ST CHARLES, IL
60175

■ **CORDOGAN, CLARK & ASSOCIATES, INC.** ■
: **ARCHITECTS | ENGINEERS** :

PROJECT INFORMATION:

PROJECT ADDRESS: 37W755 IL-38B
PROJECT DESCRIPTION: PARTIAL PARKING LOT RENOVATION

VICINITY MAP:



1

SHEET LIST:

| | | ISSUED FOR BID (11.15.2017) | ADDENDUM 2 (11.30.2017) |
|-------------|--------------------|-----------------------------------|----------------------------|
| T1.0 | COVER SHEET | X | X |
| T1.1 | GENERAL NOTES | X | |
| A1.0 | SITE PLAN | X | |
| A2.1 | BASE BID PHASE I | X | |
| A2.2 | BASE BID PHASE II | X | X |
| A2.3 | BASE BID PHASE III | X | |
| A2.4 | ALTERNATE - 1 | X | X |
| A2.5 | ALTERNATE - 2 | X | X |

CERTIFICATION

STATEMENT OF COMPLIANCE

"I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25) and the Illinois Accessibility Code (71 Ill. Adm. Code 400)."

Signed: _____

ILLINOIS REGISTRATION NO.: _____

Date: _____

SEAL

"I hereby certify these drawings have been prepared under my direct supervision and to the best of my knowledge comply with all applicable codes of _____."



PROVIDE COLD JOINTS AT LIMITS OF WORK BETWEEN PHASES, TYPICAL

ENSURE MANHOLE COVERS ARE NOT DAMAGED DURING PAVING WORK, TYPICAL

1
BASE BID- PHASE III: DAMAGED SECTIONS OF CURB TO BE REMOVED AND REPLACED WITH IDOT STANDARD FOR CURBS TO MATCH EXISTING CURB TYPE B. APPROXIMATELY 100 LINEAR FEET.

PARKING LOT E

BASE BID PHASE II: APPROXIMATELY 46,156 S.F.

90 ft

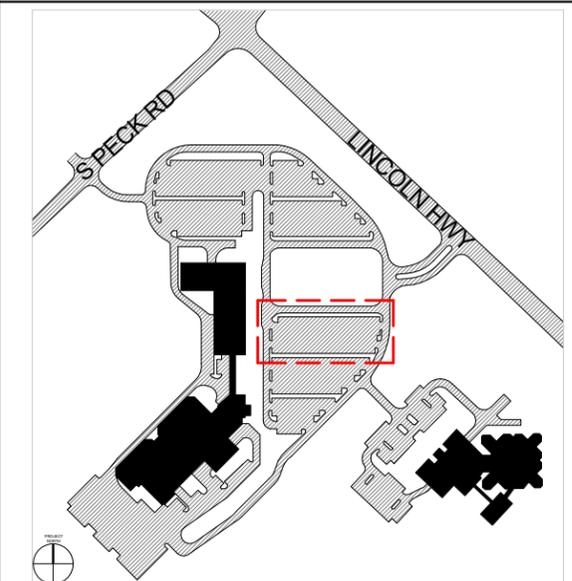
PROJECT NORTH
BASE BID PHASE II
NOT TO SCALE

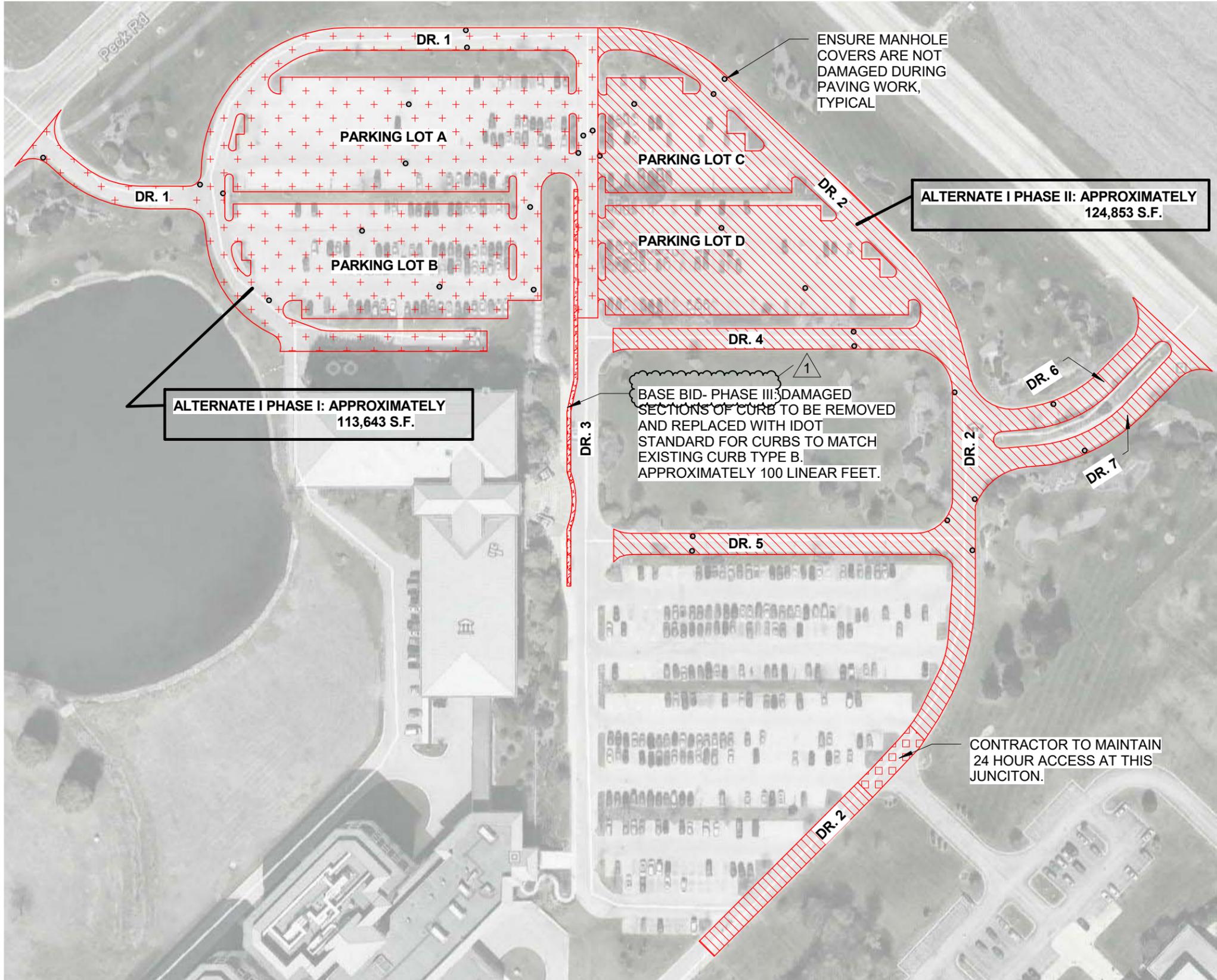
NOTES

1. MILL 2-1/2 INCHES OF EXISTING ASPHALT SURFACE MATERIAL AND APPLY NEW 2 1/2 INCHES (AFTER COMPACTION) OF ASPHALTIC CONCRETE SURFACE COAT.
2. EVALUATE EXPOSED SURFACE TO IDENTIFY ANY OBVIOUS DETERIORATED AREAS FOR FURTHER REMOVAL/REPAIR.
3. APPLY TACK COAT PRIOR TO PLACEMENT OF NEW ASPHALT SURFACE MATERIAL.
4. REVIEW SITE GRADING FOR ADA COMPLIANCE AND ADJUSTMENTS OF UTILITY STRUCTURES LOCATED WITHIN PAVEMENT AREAS. EXISTING PAVEMENT WITH SIGNIFICANT FAILURES SHOULD BE REPAIRED BY REMOVING ADDITIONAL 2 INCHES OF SECOND EXISTING SURFACE LAYER AND REPLACE WITH NEW 2 INCHES (THROUGH UNIT COST ALLOWANCE) ASPHALTIC SURFACE MATERIAL PRIOR TO PLACEMENT OF NEW 2 1/2 INCHES TOP SURFACE MATERIAL.
5. PARKING LOT TO BE PAVED IN LONGITUDINAL DIRECTIONS.
6. GRINDING SEQUENCE: ALL BASE BID PARKING LOTS CAN BE GRINDED AT SAME TIME.
7. SURFACE COATING SEQUENCE: 'PARKING LOTS F AND G' SHALL BE SURFACE COATED AS PHASE I, 'PARKING LOT E' SHALL BE SURFACE COATED AS PHASE II AND DRIVEWAY DR-8 AS PHASE III.
8. TEMPORARY PARKING SEQUENCE: PROVIDE TEMPORARY STRIPING ON LOT E AFTER GRINDING, TO BE USED WHILE LOTS F AND G ARE BEING PAVED. PARKING LAYOUT TO MATCH EXISTING LAYOUT. ADA SPACES TO BE PROVIDED AS REQUIRED BY COUNTY.
9. PARKING LOTS F AND G TO BE COMPLETED WITH STRIPING PRIOR TO STARTING SURFACING WORK IN LOT E. SEE GENERAL NOTES ON SHEET G.1 FOR REMOVAL AND DISPOSAL OF MILLED MATERIALS.

 SECTIONAL CURB REPAIRS

SITE KEY



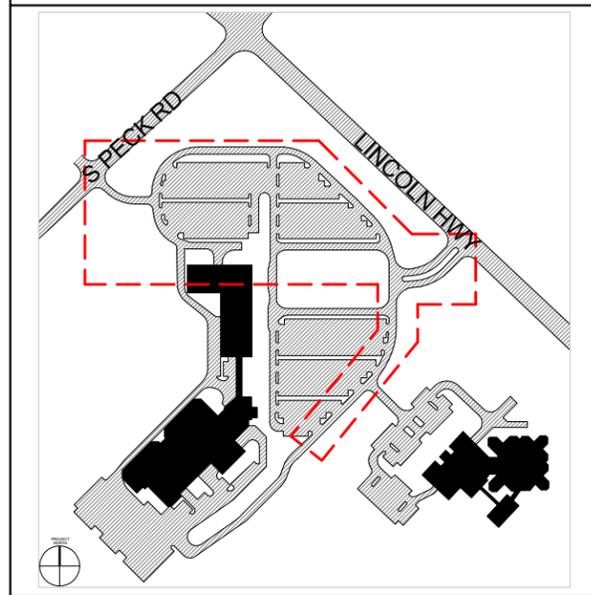


NOTES

- 1. FILL CRACK 1/8 INCHES AND ABOVE AND SEAL COAT. RESTRIPE PARKING LOTS TO MATCH EXISTING PARKING LAYOUT.
- 2. COORDINATE PHASING WITH COUNTY PRIOR TO BEGIN OF WORK.
- 3. PRICING STRATEGY:
 - a). PRICE FOR REPAIRS OF ENTIRE ALTERNATE 1 SCOPE OF WORK IN TWO PHASES.
 - b). PRICE FOR REGULAR WORK HOURS.
 - c). PRICE FOR WEEKEND WORK HOURS.

 SECTIONAL CURB REPAIRS

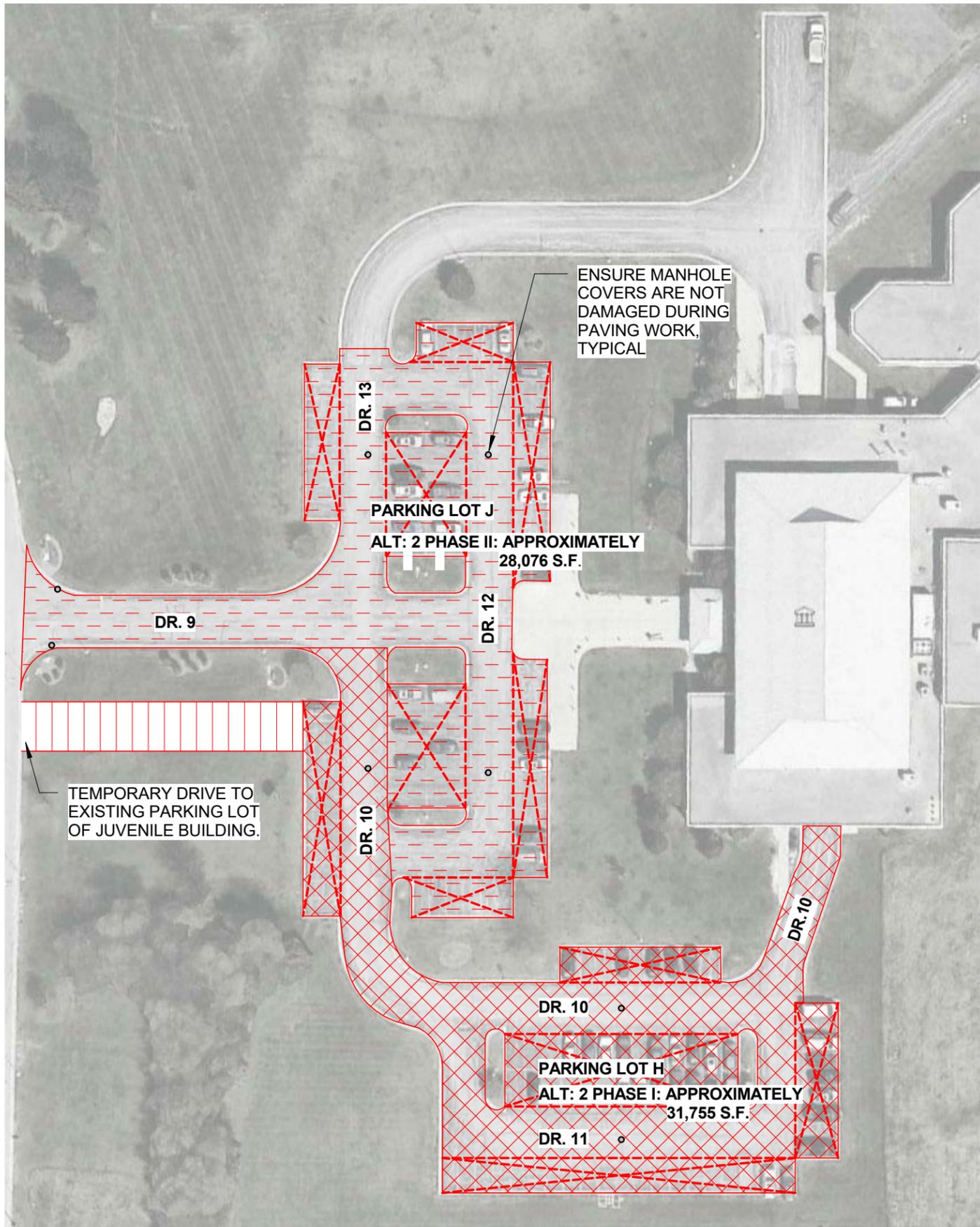
SITE KEY



PROJECT NORTH

ALTERNATE - 1

NOT TO SCALE



PROJECT NORTH

ALT ERNATE - 2

NOT TO SCALE

NOTES

- PHASE I AND PHASE II:
- FULL DEPTH REMOVAL (SEE TEST RESULTS ATTACHED IN PROJECT MANUAL FOR EXISTING PAVEMENT DEPTH) AND REPLACEMENT OF THE EXISTING PAVEMENT. REMOVE ADDITIONAL 4" SUBGRADE SOILS UNDER PARKING AREAS TO MEET PROPOSED PAVEMENT DESIGNS. THE EXPOSED SUBGRADE SHOULD BE PROOFROLLED ONCE THE ASPHALT/CRUSHED STONE BASE IS REMOVED. PROOFROLLING TO BE DONE USING A LOADED TANDEM AXEL TRUCK TO DETERMINE AREAS OF SUBGRADE INSTABILITY. AREAS THAT ARE UNSTABLE SHOULD BE OVER-EXCAVATED AND BACKFILLED WITH A WELL GRADED CRUSHED STONE (IDOT CA-06 OR CA-01) COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MODIFIED PROCTOR MAXIMUM DENSITY.
 - CONTRACTOR TO PROVIDE ALTERNATE TO SALVAGE AS MUCH AS EXISTING CRUSHED STONE AS POSSIBLE AND REUSE FOR NEW WORK AND PROVIDE CREDIT TO CLIENT.
 - STABILIZATION OPTIONS:
BASE BID:
 - LIME STABILIZATION: PERFORM LIME STABILIZATION (LKD) OF SUBGRADSOILS TO DEPTH OF AT LEAST 12 INCHES. ASSUME 5% OF LKD REQUIREMENT BASED ON EXISTING SOILS UNIT WEIGHT TO BE 110 LBS/CIFEET.
 - PERFORM 12" OF UNDERCUT AS NECESSARY AT UNSTABLE SUBGRADE LOCATIONS. UNDERCUT AREAS SHOULD THEN BE BACKFILL USING 3 INCHES SIZED CRUSHED STONE (IDOT CA-1) OR (IDOT CA-6) CRUSHED STONE MATERIAL.
 - SURFACE COAT METHODS:
 - PARKING AREA (STANDARD DUTY) REPRESENTED BY 'X' IN THE DRAWING
 - 1 1/2" ASPHALT CONCRETE SURFACE COURSE OVER 2 1/4" ASPHALTIC CONCRETE BINDER COURSE
 - DRIVE AISLE (HEAVY DUTY)
 - 2" ASPHALT CONCRETE SURFACE COURSE OVER 4" ASPHALTIC CONCRETE BINDER COURSE
 - STRIPING: AFTER COMPLETION OF NEW PAVEMENT, COMPLETE THE PARKING LOTS WITH STRIPING TO MATCH TO EXISTING PARKING LAYOUT.
1. TEMPORARY DRIVE TO EXISTING PARKING LOT OF JUVENILE BUILDING. PLACE GEO FABRIC OVER EXISTING GRADE IN TEMPORARY DIVE AREA. PLACE MILLED ASPHALT FROM PARKING LOTS E, F AND G TO LEVEL GARDE AT TEMPORARY ACCESS DRIVE AS NEEDED.
2. CONTRACTOR TO VISIT SITE AND EVALUATE SITE CONDITIONS FOR TEMPORARY DRIVE PRIOR TO BIDDING.
3. TEMPORARY DRIVE WIDTH TO BE MINIMUM 24'-0" WIDE (TWO LANE DRIVE WITH ONE WAY TRAFFICE IN BOTH DIRECTIONS). TEMPORARY LANE STRIPING AS REQUIRED PER IDOT STANDARDS.
4. TEMPORARY MILLED ASPHALT DRIVE TO BE REMOVED AFTER EXISTING PARKING LOT IMPROVEMENT IS COMPLETE AND THE AREA TO BE RESTORED BACK TO MATCH EXISTING LANDSCAPE CONDITION.
5. REMOVED MILLED ASPHALT TO BE HAULED TO COUNTY'S APPROVED LOCATION OR HAULED PER THE CCDD STANDARDS TO APPROPRIATE QUARRY AS PER GENERAL NOTES ON SHEET G.1.

